

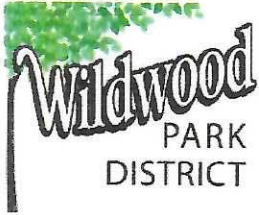
33325 N. Sears Blvd.  
Wildwood, IL 60030  
Phone: 847-223-7275  
Fax: 847-223-2820  
[www.WildwoodParkDistrict.com](http://www.WildwoodParkDistrict.com)

**INVITATION TO BID**  
**SHORELINE STABILIZATION INSTALLATION**  
**WILLOW POINT PARK**

The Wildwood Park District, Wildwood, Illinois requests sealed bids to re-shape existing shoreline and install rip rap and boulders along the shoreline of Willow Point Park for erosion control per the permitting requirements of the US Army Core of Engineers and Lake County, IL.

Bid packets are available at the Park District office located at 33325 N Sears Blvd, Wildwood, IL, and online at [www.wildwoodparkdistrict.com](http://www.wildwoodparkdistrict.com). Specific questions may be directed to Brandon Magnini, Executive Director via email at [bmagnini@wildwoodparkdistrict.com](mailto:bmagnini@wildwoodparkdistrict.com) or phone at 847.223.7275.

In order to receive Addenda and any other communications regarding this Project, all Bidders must acknowledge receipt of the bid package by sending an electronic confirmation to Brandon Magnini [bmagnini@wildwoodparkdistrict.com](mailto:bmagnini@wildwoodparkdistrict.com). The District has no duty to send or otherwise notify a Bidder of any Addendum or other communications regarding this Project who has not complied with this requirement. All bids must be received sealed on the Park District-provided bid form no later than Friday, November 14<sup>th</sup>, 2025, by 2 PM regardless of postmark date. A public bid opening will be conducted at the Wildwood Park District office, 33325 N Sears Blvd, Wildwood, Illinois, on this day beginning at 2 PM.



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## INSTRUCTIONS TO BIDDERS

### A. GENERAL

1. **Bid preparation** shall be in accordance with the instructions contained herein.
2. **Contact person** for questions regarding this bid shall be directed to the following via email: Brandon Magnini, Executive Director [bmagnini@wildwoodparkdistrict.com](mailto:bmagnini@wildwoodparkdistrict.com)

### 3. Project Overview

The project includes:

- Reshaping of eroded shoreline back into existing shoreline to create stable base for geotextile fabric installation.
- Installation of approximately 575 linear feet granite boulders and rip rap over eroded shoreline.
- Site grading, base preparation, and restoration of disturbed areas.
- Installation and management of turbidity curtain in designated location per the project map to control spread of sediment during construction.

### 4. Main Scope of Work includes the

- Reshaping of eroded shoreline back into the existing shoreline to create a stable base for geotextile fabric installation. No spoils or earth to be removed offsite.
- Installation of 4oz woven geotextile fabric throughout scope of affected shoreline.
- Installation and placement 65 tons of 24"-36" **OR** 18"-24" Wisconsin granite boulders over geotextile fabric along 275' linear feet of the eroded lake-facing shoreline as indicated on the design plans.  
**(PLEASE PRICE OUT BOTH OPTIONS AS SEPARATE LINE-ITEMS).**

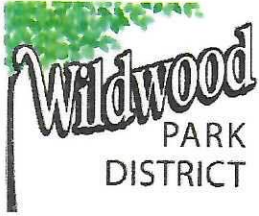
-Installation and placement of 45 tons of 6"-12" 4RR Rip Rap stone over geotextile fabric along 300' linear feet inside the inner cove shoreline as indicated on the design plans.

-Conducting shoreline grading and stabilization efforts while **AVOIDING** the removal or disturbance of the existing submerged Willow Tree inside the cove inlet area.

- Site preparation and clearing, including the marking of potential underground utilities.
- Erosion control and site restoration
- Final inspection and punch list completion

### 5. Proposal Requirements

- Company profile and relevant experience
- Detailed project approach and timeline
- Itemized cost estimate



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- Proof of insurance and bonding
- References from similar projects

**6. Evaluation Criteria**

- Experience with similar shoreline stabilization projects
- Cost competitiveness
- Project timeline
- Quality of references
- Compliance with RFP requirements

**7. Timeline**

- RFP Issued: October 28<sup>th</sup>, 2025
- Pre-Bid Meeting (Optional): November 3<sup>rd</sup>, 2025 onsite at 2 PM Willow Point Park 33666 N. Cove Road Wildwood, IL
- Questions Due: via email to Brandon Magnini, Executive Director at [bmagnini@wildwoodparkdistrict.com](mailto:bmagnini@wildwoodparkdistrict.com) through Wednesday, November 12<sup>th</sup>, 2025, 2 PM
- Proposals Due: Friday, November 14<sup>th</sup>, 2025 by 2 PM regardless of postmark date.
- Anticipated Award: November 19<sup>th</sup>, 2025
- Project Start: December 1st, 2025
- Completion Deadline: December 19<sup>th</sup>, 2025.

**8. Submission Instructions**

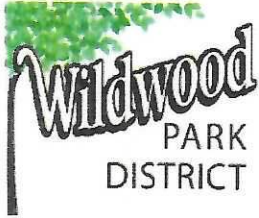
Submit proposals in a sealed envelope labeled:  
"Shoreline Stabilization Project– Willow Point Park" and the date of the opening

To:

Wildwood Park District  
33325 N Sears Blvd, Wildwood, IL 60030

**9. Additional Information**

- All work must comply with local, state, and federal regulations.
- All work must comply with the approved US Army Core of Engineers NWP #13 Shoreline Stabilization Permit, Lake County, IL Site Development Permit, and Warren Township Right of Way Permit that is included in this bid packet.
- All work must comply with the included design drawings and cross-section plans as part of the aforementioned permits that are included in this bid packet.
- Prevailing wage rates apply.
- The Park District reserves the right to reject any or all proposals
- Park will be closed to foot, boat, and vehicle traffic during construction. Construction access to the site must comply with the design map and Warren Township Right of Way Permit included in this bid packet.



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## **B. CONTRACT DOCUMENTS**

1. Advertisement for Bids
2. Instructions to Bidders
3. Bid Proposal Form & Bid Price Form\*
4. Certification Sheets & Affidavit of Experience\*

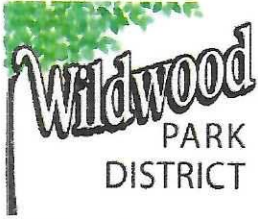
\*NOTE: These documents must be returned as part of the bid submittal

## **C. EXAMINATION OF SITE AND DOCUMENTS**

1. Bidders shall visit the site and become fully familiar with the access and any potential limitations to fully understand the scope of work for which bids are being solicited.
2. Bidders shall fully examine all bidding documents to gain a full understanding of the requirements for bidding.
3. Failure to perform the above shall in no way entitle a bidder to additional consideration, compensation or relieve a bidder from any obligation with respect to their bid or the agreement.

## **D. PREPARATION**

1. Bids must be submitted on the Bid Price form provided as part of the bidding documents. On a separate sheet include an itemized cost breakdown (materials, labor, equipment, etc.) and specify in detail the process you will use to stabilize the shoreline according to the permit(s) requirements.
2. The bidder shall not make any alterations or additions to the bidding documents provided.
3. The bidders may fill in the price blanks via ink or computer. Any corrections to any bid price must be initialed by the person signing the bid.
4. No conditional bids will be accepted.
5. All submitted bids must include the Bid Proposal Form with the Bid Price Form, the Affidavit of Experience and any Certification forms included in the bid documents.
6. Partnerships shall sign in the firm's name by one of the general partners. Corporations, including divisions of subsidiaries, shall state on the bid signature page the complete corporate name and be signed and attested to by authorized officers of the corporation and shall include the corporate seal. Associations and joint ventures shall include proper signatures by each persona or firm.
7. Completed bids must be received by the Wildwood Park District at their office at 33325 N. Sears Blvd, Wildwood, IL 60030 on or before the time stated in the Advertisement for Bids. Bids received after the stated deadline will be returned unopened, regardless of postmark. No bids will be received via facsimile machine or by e-mail. Bids shall be submitted in a sealed envelope addressed to the



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Wildwood Park District and shall include the name of the bidder and marked as "BID SHORELINE STABILIZATION PROJECT – WILLOW POINT PARK" and the date of the opening.

**E. BID OPENING AND METHOD OF AWARD**

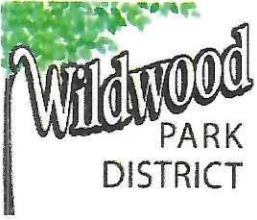
1. Bids shall be valid for ninety (90) calendar days from the date of opening and may not be withdrawn during that time period.
2. The bidder(s) and the District may agree to extend the acceptance period beyond ninety (90) days.
3. The District reserves the right to reject any and all bids, to waive any technical deficiencies and acceptable irregularities.
4. Upon successful approval of a bid, the bidder agrees, prior to commencing with any work, to execute an Agreement with the Wildwood Park District for the full services covered by the bid. The successful bidder shall provide acceptable proof of the required insurance within ten (10) days of the District's request for such and prior to beginning any work.

**F. BID SECURITY/BONDS REQUIRED**

No bid bond or payment and performance bonds are required. Lien Waiver and Release Form are required.

**G. PREVAILING WAGES** as the law applies.

**H. WARRANTY** – a minimum of 1 year warranty after satisfactory completion pertaining to materials and workmanship is required.



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BID PROPOSAL FORM  
SHORELINE STABILIZATION PROJECT – WILLOW POINT PARK

RETURN WITH BID

For the  
WILDWOOD PARK DISTRICT  
(also referred to as the "District")

**BID TO:** Executive Director  
Wildwood Park District  
33325 N Sears Blvd, Wildwood, IL 60030

**BID FOR:** SHORELINE STABILIZATION PROJECT – WILLOW POINT PARK

**BID FROM:** Company Name: \_\_\_\_\_

Address \_\_\_\_\_ Phone: \_\_\_\_\_

\_\_\_\_\_ Email: \_\_\_\_\_

\_\_\_\_\_ Date: \_\_\_\_\_

Contact Person: \_\_\_\_\_ (please print)

The Undersigned:

1. Acknowledges receipt of

A. Bid Document for project:

Dated: \_\_\_\_\_ Bidder's Signature \_\_\_\_\_

B. Addenda no. \_\_\_\_\_ Dated: \_\_\_\_\_ Bidder's Signature \_\_\_\_\_

Addenda no. \_\_\_\_\_ Dated: \_\_\_\_\_ Bidder's Signature \_\_\_\_\_

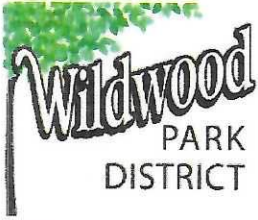
Addenda no. \_\_\_\_\_ Dated: \_\_\_\_\_ Bidder's Signature \_\_\_\_\_

2. Has examined the site and means of access and all the Contract Documents (Bid Document)

3. Agrees:

A. To hold the bid open for ninety (90) days subsequent to the date of the bid opening.

B. To enter into and execute a Contract with the District, if awarded on the basis of this bid, and in connection therewith to:



- (1) Furnish proof of insurance required by the Contract Document.
- (2) Accomplish the Work in accordance with the Contract Documents, and
- (3) Complete the Work within the time requirements as set forth in the Contract Documents.

C. That the Bidder has carefully examined the Instructions to Bidders, the Drawings and Specifications, and the Bid Document in its entirety, in order to determine how these affect the bid proposal, the forms of the Contract, the required Contract bonds, and duration thereof, and that the Bidder has inspected in detail the site of the proposed Work and been familiarized with all of the requirements of construction, and of the governing municipalities under whose jurisdiction the Project falls (its codes, ordinances and construction requirements therein), and understands that in making this proposal, the Bidder waives all rights to plead any misunderstanding regarding the same.

D. That if this proposal is accepted, the Bidder is to provide all of the necessary equipment, tools, apparatus, labor, and other means of construction, and to do all of the Work and to furnish all of the materials specified in the contract Documents in the manner and at the time therein prescribed, and in accordance with the requirements set forth.

E. Bid Bond: (see Instructions to Bidders).

F. To commence work as specified in the Instructions to Bidders, and to prosecute the Work in such a manner, and with sufficient materials, equipment, and labor as will ensure its completion within a reasonable time, it being understood and agreed that the completion within such reasonable time is an essential part of this Contract.

G. Bidder proposes utilizing the products and services of the following subcontractors and major supplies for the completion of the contract. All subcontractors shall be approved by the Executive Director and District prior to the start of their work on the project. If no subcontractors or major supplies are to be used, indicate "NONE".

1) \_\_\_\_\_ PH: \_\_\_\_\_  
Subcontractor/major supplier

\_\_\_\_\_  
Address

\_\_\_\_\_  
Work to be performed/materials to be supplied

2) \_\_\_\_\_ PH: \_\_\_\_\_  
Subcontractor/major supplier

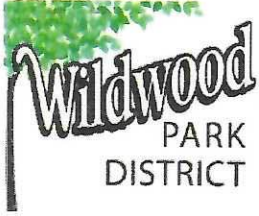
\_\_\_\_\_  
Address

\_\_\_\_\_  
Work to be performed/materials to be supplied

3) \_\_\_\_\_ PH: \_\_\_\_\_  
Subcontractor/major supplier

\_\_\_\_\_  
Address

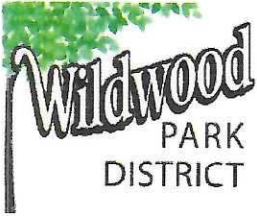
\_\_\_\_\_  
Work to be performed/materials to be supplied



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#### **A. BIDDING CONTRACTOR UNDERSTANDINGS & COMPLIANCE**

1. The undersigned Bidding Contractor hereby offers and proposes to furnish for the bid prices quoted herein at the Contractor's sole cost, all required personnel, transportation, equipment, materials, labor, dumping fees, insurance, bonds, permits, and any other items required per these bidding documents necessary to provide the specified shoreline stabilization installation for Willow Point Park and time period defined and stated in these documents. Further the Contractor agrees if this Bid Proposal is accepted in full or in part by the District, the Contractor will perform the scope of work in the manner and at the times herein prescribed and in accordance with the requirements therein set forth and is fully responsible for the means of access to each site, methods, techniques, sequences, and safety procedures and programs incident thereto. The Contractor agrees to perform all specified work in the Contract in a good and workmanlike manner.
2. By submitting this bid, the bidding Contractor certifies the following:
  - a. That the Contractor has visited the sites for which shoreline stabilization is being solicited and that the Contractor fully understands the challenges and potential limitations of the site regarding the scope of work required, access to the site, etc.
  - b. That the Contractor has fully examined all of the bidding documents and has become familiarized with all of the requirements of the scope of work.
  - c. That in submitting this bid the Contractor declares that the only persons or parties interested in the proposal as principals are those names herein; and that the proposal is made without collusion with any person, firm, corporation, or public agency.
  - d. That the Contractor understands that the District reserves the right to reject any and all bids, to waive any and all technicalities or irregularities in a bid, to accept a bid in whole or in part and to accept a bid or partial bids that after obtaining advice from the District Board is in the best interest of the Wildwood Park District.
  - e. That the Contractor agrees to comply with all applicable codes and industry standards, laws, ordinances and regulations of the Wildwood Park District, Warren Township, Lake County, the State of Illinois and the Federal Government, including but not limited to health and sanitation, age, prevailing wage, workers compensation, sales tax, and equal employment, as applicable.



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f. That the Contractor represents and certifies to the District that it is not barred from entering into this Contract as a result of violations of either Section 33E-3 or Section 33E-4 of the Illinois Criminal Code (Public Contracts). Any breach by the Contractor for the forgoing laws, regulations and rules shall constitute a breach by the Contractor of this Agreement.

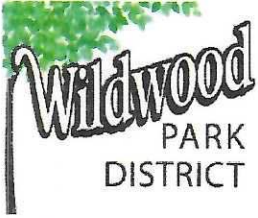
### **B. PAYMENT**

Provided the District receives invoices for monthly services rendered not later than the 1<sup>st</sup> day of the month, the district shall make payment to the Contractor no later than the 30<sup>th</sup> day of the same month. If the District receives requests for payment after the 1<sup>st</sup> day of the month, the District shall make payment no later than sixty days after receipt of the request for payment for services received by the District. Invoices will be received at the district office: Wildwood Park District, 33325 N Sears Blvd, Wildwood, IL 60030 or via email to [Accounting@wildwoodparkdistrict.com](mailto:Accounting@wildwoodparkdistrict.com)

### **C. CONTRACTOR EMPLOYEES**

The Contractor shall maintain policies of employment as follows:

1. The Contractor shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, national origin, or age. The Contractor shall take affirmative action to ensure that applicants are employed and that employees are treated during employment without regard to race, religion, color, sex, national origin, or age. Such action shall include, but not be limited to, the following: employment upgrading; demotion or transfer; recruitment or recruitment advertising; layoff or termination rates of pay or other forms of compensation and selection for training including apprenticeship. The Contractor agrees to post in conspicuous places available to employees and applicants for employment, notices setting the policies of non-discrimination.
2. The Contractor shall, in all solicitations or advertisements for employees, places by them or on their behalf, state that all qualified applicants will receive consideration for employments without regard to race, religion, color, sex, national origin, or age. Contractors shall also and in addition to the provision set out in this Section XIX, remain in compliance with the Illinois Public Works Employment Discrimination Act (775 ILCS 10/1 et seq.) and the Illinois Human Rights Act Article II Employment (775 ILCS 5/2-101 et seq.)
3. All Contracts for work herein are subject to the provisions of the Equal Employment Opportunity Clause of the Illinois Fair Employment Practices Commission.



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4. Pursuant to section 2-105 of the Illinois Human Rights Act (775 ILCS 5/1-101 et.seq.) (“Rights Act”), all Contract and Subcontractors must have in force and effect a written sexual harassment policy which includes at a minimum the following provisions:

- a. A statement of illegality of sexual harassment.
- b. The definition of sexual harassment under Illinois law.
- c. A description of sexual harassment utilizing examples.
- d. An internal complain process, including penalties.
- e. The legal resource, investigative and complaint process available through the Illinois Department of Human Rights (“Department”) and the Illinois Human Rights Commission (“Commission”).
- f. Directions on how to contact the Department and the Commission; and
- g. Protection against retaliation as provided by Section 6-101 of the Rights Act.

4. The Contractor understands, represents and warranties to the District that Contractor follows Section 2-105 of the Rights Act for the entirety of the Work Periods. A violation of Section 2-105 is cause for the immediate cancellation of this Contract. However, any forbearance of delay by the Owner in cancelling this Contract shall not be construed as, and does not constitute the District’s consent to such violation and a waiver of any rights the District may have, including without limitation, cancellation of this Contract. There will be no subcontractors involved in this contract.

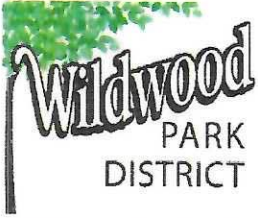
#### **D. REJECTION OF BIDS**

The Wildwood Park District Board of Commissioners reserves the right to reject and refuse any or all Bids, in whole or in part, and to reject Bids of any person or firm who is debarred from the award of a contract for public works projects or who is not provided with the necessary capital, materials, machinery or supervisory personnel to execute the work to be contracted.

#### **E. INSURANCE REQUIREMENTS**

The Contractor shall provide proof of insurance meeting the minimum requirement as defined per the attached EXHIBIT NO.1 INDEMNIFICATION AND INSURANCE within ten (10) days of the District’s request for said insurance certificates.

#### **F. DATE OF DELIVERY**



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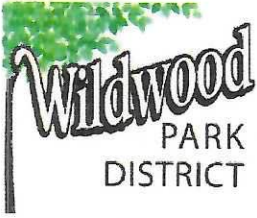
The Contractor must adhere to the time periods of delivery scheduled by the District and the winning bidder.

**G. TAXES**

The Wildwood Park District, being a governmental body, receives statutory exemption from the Illinois Sales Tax. Therefore, all bid prices that include materials should not include Illinois Sales Tax.

**H. QUESTIONS**

Bidding questions regarding this Bid or Scope of Work should be directed via e-mail to Brandon Magnini, Executive Director of the Wildwood Park District at [bmagnini@wildwoodparkdistrict.com](mailto:bmagnini@wildwoodparkdistrict.com) through Wednesday, November 12<sup>th</sup>, 2025 2 PM.



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RETURN WITH BID

## **BID PRICE FORM**

### SHORELINE STABILIZATION PROJECT – WILLOW POINT PARK

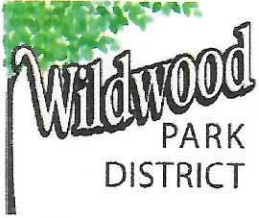
WILDWOOD PARK DISTRICT All prices quoted shall be all inclusive including all required equipment, materials, labor, insurance, etc., per the specifications included as part of this bidding document. Quote bid prices in rounded off dollars.

- 1. Shoreline Stabilization, Willow Point Park 33666 N. Cove Road Wildwood, IL, per specification sheet with 24"-36" Wisconsin Granite Boulders** On a separate sheet include an itemized cost breakdown (materials, labor, equipment, etc.) and specify in detail the process you will use to stabilize the shoreline per the given plans and permits. Include base preparation (shoreline edging/shaping), geotextile fabric installation, and boulder and rip rap installation.

**BID PRICE** \_\_\_\_\_

- 2. Shoreline Stabilization, Willow Point Park 33666 N. Cove Road Wildwood, IL, per specification sheet with 18"-24" Wisconsin Granite Boulders** On a separate sheet include an itemized cost breakdown (materials, labor, equipment, etc.) and specify in detail the process you will use to stabilize the shoreline per the given plans and permits. Include base preparation (shoreline edging/shaping), geotextile fabric installation, and boulder and rip rap installation.

**BID PRICE** \_\_\_\_\_



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*RETURN WITH BID*

The Bidder hereby represents that the prices contained in this BID PROPOSAL are neither directly nor indirectly the result of an agreement with anyone and that he/she has not, by himself/herself or others, had any secret understanding with anyone with respect to any provisions contained in the Bid Proposal.

Date: \_\_\_\_\_  
Name of Bidder: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Print Name & Title: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

ATTEST:

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Notary Public

SEAL My commission expires \_\_\_\_\_

ALL BIDS SHALL BE SIGNED BY A PRINCIPAL OF THE BIDDING COMPANY. INDIVIDUALS AND PARTNERSHIPS SHALL HAVE BID SIGNATURES NOTARIZED. IF THE BIDDER IS A CORPORATION, THE BID SHALL BE STAMPED WITH THE FIRM'S CORPORATE SEAL.

The Wildwood Park District hereby accepts the forgoing BID as identified in this Proposal either in whole or in part as indicated.

TOTAL AMOUNT: \$ \_\_\_\_\_

ACCEPTED AND APPROVED:

By vote of the Wildwood Park District Board of Commissioners on:

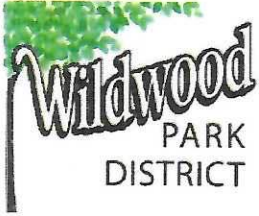
Date: \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Becky Jante, Board President

Date: \_\_\_\_\_

Brandon Magnini, Executive Director/Secretary to the Board



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RETURN WITH BID

**CERTIFICATE OF UNDERSTANDING REGARDING**  
**HOLD HARMLESS & INSURANCE COVERAGE REQUIREMENTS**  
**WILDWOOD PARK DISTRICT**  
**SHORELINE STABILIZATION PROJECT – WILLOW POINT PARK**

**THIS IS TO CERTIFY THAT I,** \_\_\_\_\_, President/Principal/Partner  
of \_\_\_\_\_ (hereinafter referred to as the “Contractor”), have read and “Hold  
Harmless and Insurance Provisions” incorporated in the attached Proposal Document and possess full authority  
and power to legally bind said Contractor to same.

**I, FURTHER AGREE AND CERTIFY,** that if awarded a Contract for the above-named project, I will  
direct our insurance agent or representative to provide any and all required insurance policies outlined in said  
“Hold Harmless and Insurance Requirements” to afford the required coverage for the Owners, Wildwood Park  
District and any and all other entities so named in said “Insurance Requirements” section.

**I, FURTHER UNDERSTAND,** that all expenses relating to the issuance of said policies of insurance  
will be solely at the Contractor’s expense, and that the Contractor will pay all liability for failure to keep said  
insurance policies in full force and effect for the duration of the project and as required in said “Insurance  
Requirements”. Additionally, I will not allow any reduction in any of the “Limits of Coverage” afforded in said  
policies. I further understand and agree that we, as Contractor, will be totally liable and responsible for any  
direct and/or indirect consequences arising from our failure to comply with these Insurance Requirements.

**FINALLY, I UNDERSTAND AND AGREE,** that if said Insurance Requirements are not fulfilled, we,  
the Contractor, will bear full responsibility for paying any and all costs of litigation, including but not limited  
to, settlement costs and attorney’s fees resulting from any and all claims against the Owners.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

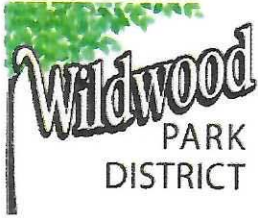
**CONTRACTOR’S NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**WITNESS:** \_\_\_\_\_ **SIGNED BY:** \_\_\_\_\_  
(President/Principal/Partner)

**BY:** \_\_\_\_\_  
(SECRETARY/NOTARY) (Typed/Printed Name)





33325 N. Sears Blvd.  
Wildwood, IL 60030  
Phone: 847-223-7275  
Fax: 847-223-2820  
www.WildwoodParkDistrict.com

*RETURN WITH BID*

**CONTRACTOR'S DRUG-FREE WORKPLACE CERTIFICATION**

Pursuant to 30 ILCS 580/1, et seq. ("Drug-Free Workplace Act"), the undersigned Contractor hereby certifies to the contracting agency that it will provide a drug-free workplace by:

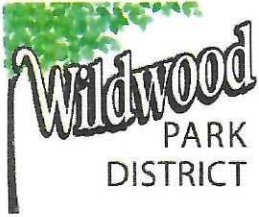
- A. Publishing a statement:
  - 1) Notifying employees that the unlawful manufacture, distribution, dispensation, possession, or use of a controlled substance including cannabis, is prohibited in the grantee's or Contractor's workplace.
  - 2) Specifying the actions that will be taken against employees for violations of such prohibition.
  - 3) Notifying the employee that, as a condition of employment on such Contract or grant, the employee will:
    - (a) abide by the terms of the statement; and
    - (b) notify the employer of any criminal drug status conviction for a violation occurring in the workplace no later than five (5) days after such conviction.
- B. Establishing a drug-free awareness program to inform employees about:
  - 1) the dangers of drug abuse in the workplace.
  - 2) the grantee's or Contractor's policy of maintaining a drug-free workplace.
  - 3) any available drug counseling, rehabilitation, and employee assistance program; and
  - 4) the penalties that may be imposed upon employees for drug violations.
- C. Making it a requirement to give a copy of the statement required by Subsection A to each employee engaged in the performance of the Contract or grant, and to post the statement in a prominent place in the workplace.
- D. Notifying the contracting agency within 10 days after receiving notice under page (b) of paragraph 3) of Subsection A from an employee or otherwise receiving actual notice of such conviction.
- E. Imposing a sanction on or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by any employee who is so convicted, as required by 30 ILCS 5805.
- F. Assisting employees in selecting a course of action in the event during counseling treatment and











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[www.WildwoodParkDistrict.com](http://www.WildwoodParkDistrict.com)

**Lien Waiver and Release Form**

Project Name: SHORELINE STABILIZATION PROJECT – WILLOW POINT PARK

Location: Willow Point Park, Wildwood Park District

Contractor/Subcontractor: \_\_\_\_\_

Invoice/Payment Amount: \$ \_\_\_\_\_ Check# \_\_\_\_\_

Date of Payment: \_\_\_\_\_

**WAIVER AND RELEASE**

The undersigned acknowledges receipt of payment in full for labor, services, equipment, or materials furnished to the above-referenced project. In consideration of this payment, the undersigned hereby waives, releases, and relinquishes any and all rights to file a mechanic's lien, stop notice, or bond claim against the property, the project, or the owner thereof.

This waiver is:

- Partial – for progress payment only
- Final – for full and final payment
- Conditional – effective upon clearance of payment
- Unconditional – effective immediately

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

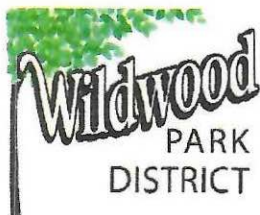
Date: \_\_\_\_\_

Return completed Lien Waiver and Release Form to:

Wildwood Park District  
33325 N Sears Blvd  
Wildwood, IL 60030

Attn: Accounting Dept.

OR by email to [accounting@wildwoodparkdistrict.com](mailto:accounting@wildwoodparkdistrict.com)

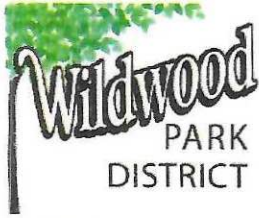


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## EXHIBIT NO.1 INDEMNIFICATION AND INSURANCE

- A. **Commercial General and Umbrella Liability Insurance.** Contractors shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella insurance with a limit of not less than **\$3,000,000 each occurrence**. If such CGL insurance contains a general aggregate limit, it shall apply separately to this project/location. CGL insurance shall be written on Insurance Services Office (ISO) occurrence form CG 00 01, or a substitute form providing equivalent coverage, and shall cover liability arising from premises, operations, independent contractors, product-completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of another assumed in a business contract). Owner, its elected and appointed officials, officers, employees, and agents shall be included as an insured under the CGL, **using ISO additional insured endorsement CG 20 10** or a substitute providing equivalent coverage, and under the commercial umbrella, if any. This insurance shall apply as primary insurance with respect to any other insurance or self-insurance afforded to Owner. There shall be no endorsement or modification of the CGL limiting the scope of coverage for liability arising from pollution, explosion, collapse, or underground property damage.
- B. **Continuing Completed Operations Liability Insurance.** Contractor shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella liability insurance with a limit of not less than \$3,000,000 each occurrence for at least three years following substantial completion of the work. Continuing CGL insurance shall be written on ISO occurrence form CG 00 01, or substitute form providing equivalent coverage, and shall, at minimum, cover liability arising from products-completed operations and liability assumed under an insured contract. Continuing CGL insurance shall have a product completed operations aggregate of at least two times its each occurrence limit. Continuing commercial umbrella coverage, if any, shall include liability coverage for damage to the insured's completed work equivalent to that provided under ISO form CG 00 01.
- C. **Business Auto and Umbrella Liability Insurance.** The contractor shall maintain business auto liability and, if necessary, commercial umbrella liability insurance with a limit of not less than \$1,000,000 each accident. Such insurance shall cover liability arising out of any auto including owned, hired, and non-owned autos. Business auto insurance shall be written on Insurance Services Office (ISO) form CA 00 01, CA 00 05, CA 00 12, or a substitute form providing equivalent liability coverage equivalent to that provided in the 1990 and later editions of CA 00 01.
- D. **Workers Compensation Insurance.** The contractor shall maintain worker's compensation as required by statute and employer's liability insurance. The commercial umbrella and/or employer's liability limits shall not be less than \$1,000,000 each accident for bodily injury by accident or \$1,000,000 each employee for bodily injury by disease. If Owner has not been included as an insured under the CGL using ISO additional insured endorsement CG 20 10 under the Commercial General and Umbrella Liability Insurance required in this Contract, the Contractor waives all rights against Owner and its officers, officials, employees, volunteers, and agents for recovery of damages arising out of or incident to the Contractors work.
- E. **General Insurance Provisions.**

1. **Evidence of Insurance.** Prior to beginning Work, Contractor shall furnish Owner with a certificate of insurance and applicable policy endorsements, executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements set forth above. All certificates shall provide for 30 days written notice to Owner prior to the



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cancellation or material change of insurance referred to therein. Written notice to Owner shall be by certified mail, return receipt requested. Failure of Owner to demand such certificate, endorsement, or other evidence of full compliance with these insurance requirements or failure of Owner to identify a deficiency from evidence that is provided shall not be construed as a waiver of Contractor's obligation to maintain such insurance. Owner shall have the right, but not the obligation, of prohibiting Contractor or any subcontractor from entering the Project site until such certificates or other evidence that insurance has been placed in complete compliance with these requirements is received and approved by Owner. Failure to maintain the required insurance may result in termination of this Contract at Owner's option. With respect to insurance maintained after final payment in compliance with a requirement above, an additional certificate shall provide certified copies of all insurance policies required above within 10 days of Owner's written request for said copies.

**2. Acceptability of Insurers.** For insurance companies which obtain a rating from A.M. Best, that rating should be no less than A VII using the most recent edition of the A.M. Bests Key Rating Guide. If the Bests rating is less than A VII or a Best's rating is not obtained, the Owner has the right to reject insurance written by an insurer it deems unacceptable.

**3. Cross-Liability Coverage.** If Contractor's liability policies do not contain the standard ISO separation of insureds provision, or a substantially similar clause, they shall be endorsed to provide cross-liability coverage.

**4. Deductibles and Self-Insured Retentions.** Any deductible or self-insured retention must be declared to the Owner. At the option of the Owner, the Contractor may be asked to eliminate such deductibles or self-insured retentions as respects the Owner, its officers, officials, employees, volunteers, and agents or required to procure a bond guaranteeing payment of losses and other related costs including but not limited to investigations, claim administration and defense expenses.

**5. Subcontractors.** Contractor shall cause each subcontractor employed by Contractor to purchase and maintain insurance of the type specified above. When requested by the Owner, the Contractor shall furnish copies of certificates of insurance evidencing coverage for each subcontractor.

**F. Indemnification** To the fullest extent permitted by law, the Contractor shall waive all right of contribution and shall indemnify and hold harmless the Owner and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses, including but not limited to legal fees (attorney's and paralegals fees and court costs), arising out of or resulting from the performance of the Contractor's work, provided that any such claim, damage, loss or expense (i) is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, other than the work itself, including the loss of use resulting therefrom and (ii) is caused in whole or in part by any wrongful or negligent act or omission of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this Paragraph. Contractor shall similarly protect, indemnify, and hold and save harmless the Owner, its officers, officials, employees, volunteers and agents against and from any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Contractor's breach of any of its obligations under, or Contractor's default of, any provision of the Contract.



pin, address or place



\* Shoreline material to be pulled back/shaped into shoreline prior to installation of geotextile fabric and boulders/rip rap.\*

\* Park will be closed to vehicle/boat/foot traffic during project.\*

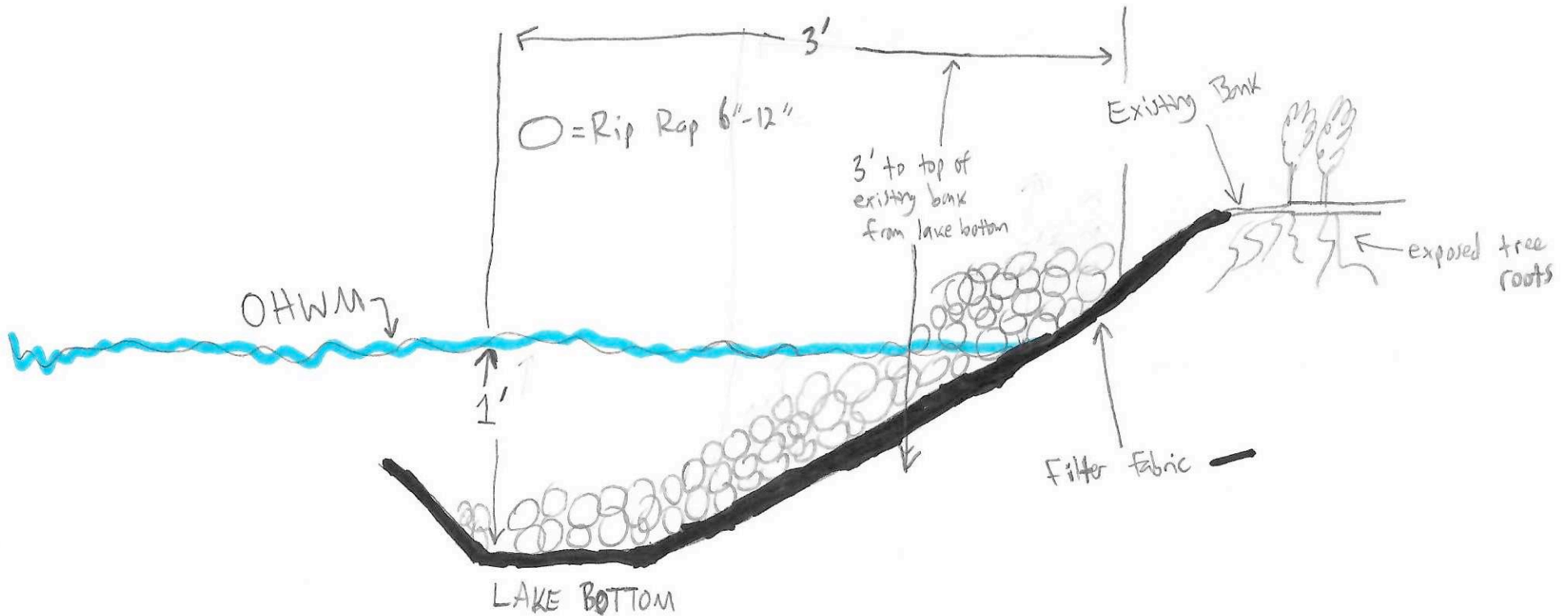
Playground #1

Brandon Magnini Executive Director 8/26/2025

Cross-Section Rip Rap Layered View  
inside Cove

11 cubic yards of rip rap

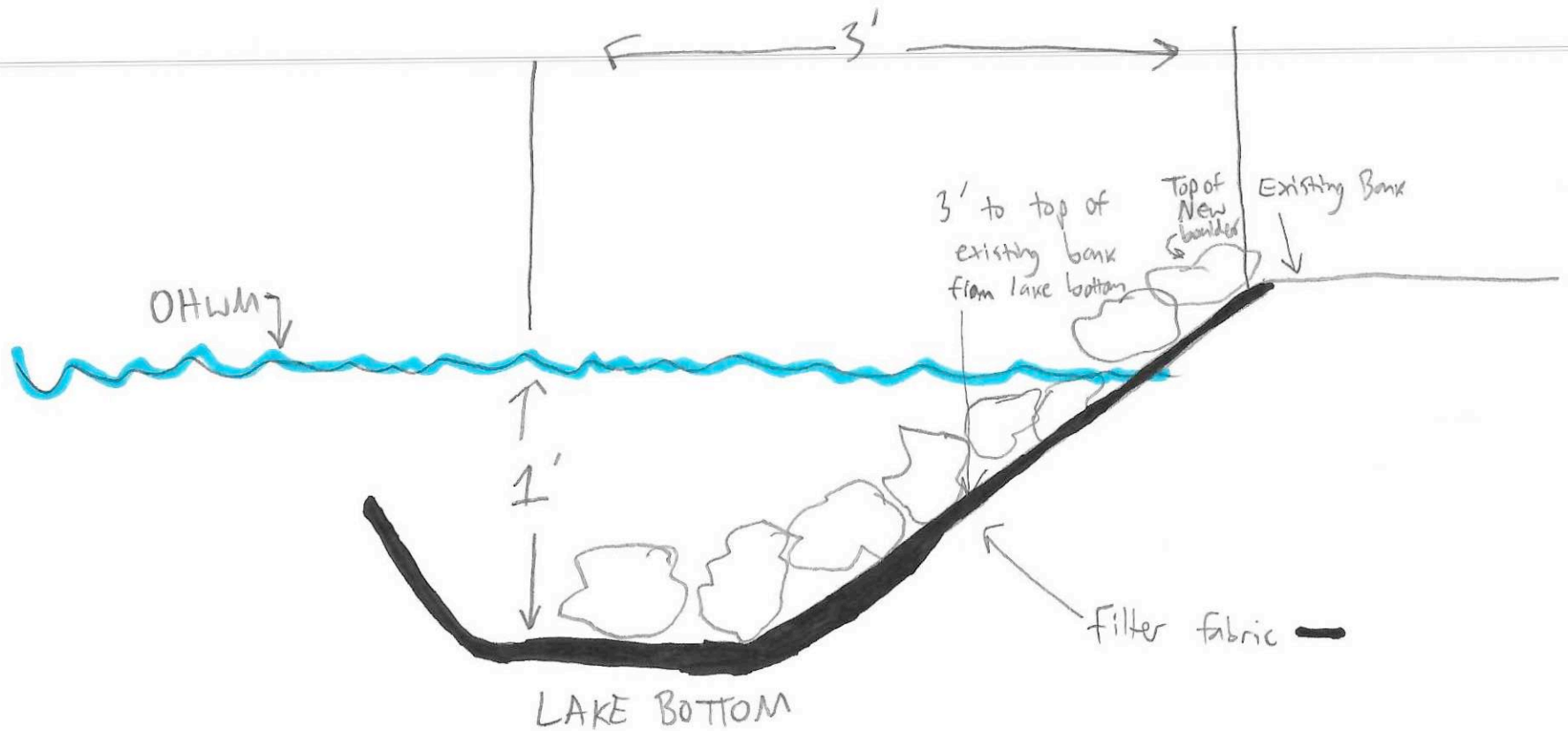
Rip Rap matched to  
existing grade



Cross-Section of New Granite Boulder Layered View (facing open water)

47 cubic yards of boulders

 = Granite Boulders 16"-24" or 24"-36"



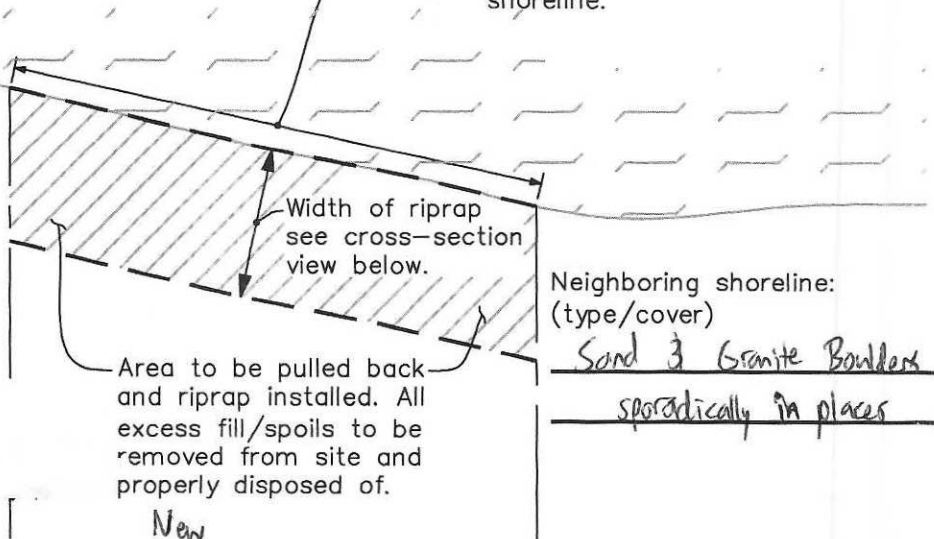
Proposed Riprap Shoreline – Plan view (Overhead view)

Address: Willow Point Park  
33666 N. Cove Road

575 ft Proposed riprap shoreline, <sup>(boulder + rip rap)</sup> must conform to existing edge of shoreline.

Neighboring shoreline: (type/cover)

Granite Boulders



Neighboring shoreline: (type/cover)

Sand & Granite Boulders  
sporadically in places

Area to be pulled back and riprap installed. All excess fill/spoils to be removed from site and properly disposed of.

New

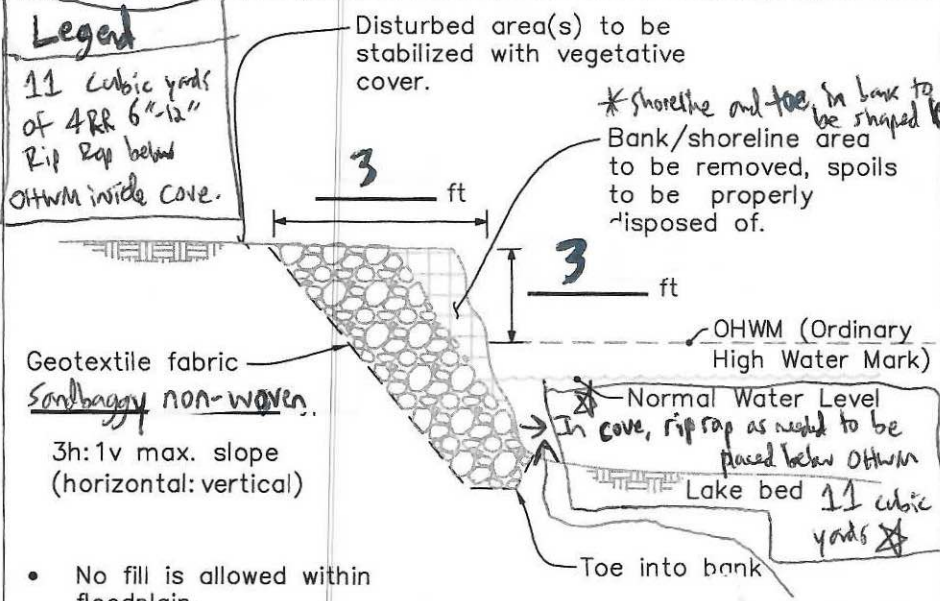
Describe riprap (type & size):

W/ Granite Boulders 24"-36" on peninsula point → 275' linear feet  
Rip Rap (inside cove area) 4 RR 6"-12" → 300' linear feet

\* If necessary, inside cove, exposed tree roots to be removed to allow for rip rap to be stabilized against shaped shoreline and below OHWM.

Proposed Riprap Shoreline – Cross-section view

Notes:



- Δ Additional information may be required/requested.
- Δ Include on site plan/aerial: removed\*
- Access route from road/water.
- Soil Erosion/Sediment Control measures.
- Δ Other permits that may be required:
  - U.S. Army Corps of Engineers permit.
  - Township Right-of-Way permit.
- Δ As-built topographic survey and compensatory storage may be required.
- Δ Please contact appropriate permitting authority for additional information and permit approval requirements.

Geotextile fabric Sandbaggy non-woven.  
3h:1v max. slope (horizontal:vertical)

- No fill is allowed within floodplain.
- OHWM: determined by the U.S. Army Corps of Engineers.

- Riprap should be angular stone (~6" - 24" typ).

Site to be stabilized by Contractor

Signature X: [Signature] Date: 8/26/2025

Revised: 01-29-2020

Prepared by Bonnie Magnini Executive Director 8/26/2025

STAPLE/FASTEN IN THIS BOX



Lake County Central Permit Facility  
500 West Winchester Road  
Libertyville, Illinois 60048-1331  
Phone: 847.377.2600  
E-mail: lcpemits@lakecountyil.gov

LAKE COUNTY, IL

# PERMIT

HAS BEEN SECURED FOR PROJECT #  
SITE-094196-2025

**Project Description:** Grading/Site Permit

**Property Address:** 33266 N JOHN MOGG RD GRAYSLAKE

**PIN:** 0730302081

**Date Issued:** 10/8/2025

**Project Permits**

Permit #

**Issued:**

**Project Issued By:** \_\_\_\_\_

Lizeth Zuniga, Project Manager

**À FAILURE TO CALL FOR THE INSPECTIONS OR MEET THE CONDITIONS LISTED ON THIS PERMIT CARD MAY RESULT IN A VIOLATION. IF THERE ARE ANY QUESTIONS REGARDING THIS PROJECT, THE PROJECT'S ASSOCIATED INSPECTIONS OR CONDITIONS PLEASE CALL THE PROJECT MANAGER LISTED ABOVE AT 847-377-2600.**

**NOT ALL BUILDING INSPECTIONS ARE REQUIRED. PLEASE CALL 847-377-2600 FOR QUESTIONS ON REQUIRED INSPECTIONS AND TO SCHEDULE INSPECTIONS.**

1. FOOTING/ SETBACK	2. DRAIN TILE	3. DAMPPROOF FOUNDATION	4. ROUGH CARPENTRY	5. ROUGH MASONRY	6. ROUGH ELECTRICAL	7. ROUGH ELECTRICAL IN CONC SLAB	8. ROUGH PLUMBING
9. ROUGH PLUMBING IN CONC SLAB	10. ROUGH HVAC	11. INSULATION	12. WATER SUPPLY	13. SWIMMING POOLS	14. OCCUPANCY & USE CERTIFICATE	15. ELEVATOR	16. FINAL INSPECTION

**SEE THE BACKSIDE OF THIS CARD FOR ALL PROJECT CONDITIONS.**

**POST THIS CARD AT THE PROJECT SITE ENSURING IT IS VISIBLE FROM THE STREET AND SUCH THAT THE INSPECTOR CAN RECORD THE OUTCOME OF THE INSPECTIONS ON THIS CARD. DO NOT POST THIS CARD IN THE INTERIOR OF A BUILDING. INSPECTORS AND SHERIFF'S DEPUTIES ARE INSTRUCTED TO STOP ALL WORK WHERE THIS PERMIT CARD IS NOT DISPLAYED.**

**PERMIT CONDITIONS / NOTICE TO APPLICANT**

**Site Development Conditions** - The following conditions apply to this project:

- 1) The permit is valid for 2 years. Site work must commence within 6 months of permit issuance.
- 2) All excavated material shall be removed from the site. Any fill placed within the regulatory floodplain will require compensatory storage.
- 3) No additional site work beyond what is shown on the approved site plan is approved/allowed under this permit.
- 4) An as-built topographic survey along with compensatory storage calculations may be required.
- 5) Seed and mulch or sod all disturbed areas prior to the final inspection request. Final approval only. No temporary approval.
- 6) This permit authorization does not exempt the applicant/owner from the requirement to obtain written approval from all other local, state or federal agencies (USACOE) prior to the start of work.
- 7) Final Site Development approval is required prior to requesting a final inspection. It is the property owner's responsibility to call 847-377-2600 to schedule a Site Development final inspection once all site work is completed and the site is stabilized.

TOWNSHIP RIGHT OF WAY PERMIT APPLICATION

Township: WARREN

Building Permit Appl. # \_\_\_\_\_

and/or Site Development Permit Appl. # \_\_\_\_\_

TO BE FILLED BY THE APPLICANT

Submit the completed applicant portion to the Township Highway Department. Contact information is located on the back side of this form.

1. Project Location

Property Address: 33666 N. Cove Road Graylake, IL 60030

Property Index Number(s): 073 030 2081

2. Applicant Information

Name: Willwood Park District

Address: 33325 N. Sears Boulevard Graylake, IL 60030

Telephone # 847.223.7275 Cell # 229.723.2795 FAX # 847.223.2820

3. Project Description

Existing Land Use: Park Shoreline fishing/boating/swimming Proposed Improvements: Shoreline stabilization/crosson control Boulders/Rip Rap with geotextile fabric

Signed: [Signature] Dated: 5/30/2025

FOR TOWNSHIP OFFICE USE ONLY

Fax, the completed application copied on Township Highway Dept. letterhead, to 847-984-5853 or email to [sitedevelopment@lakecountyil.gov](mailto:sitedevelopment@lakecountyil.gov)

Approved: X (Plans Dated: \_\_\_\_\_ ) Not Approved: \_\_\_\_\_

Township Permit # 25-14 Bond Amount: 0

Comments: \_\_\_\_\_

Date: 6-2-25 Highway Commissioner: Amy Sarver

Final Inspection

Date of Final Inspection: \_\_\_\_\_ Highway Commissioner: \_\_\_\_\_

Comments: \_\_\_\_\_



DEPARTMENT OF THE ARMY  
U.S. ARMY CORPS OF ENGINEERS, CHICAGO DISTRICT  
231 SOUTH LA SALLE STREET, SUITE 1500  
CHICAGO IL 60604-1437

September 11, 2025

Regulatory Branch (LRC-2025-00268)

SUBJECT: Nationwide Permit Authorization for 275 Linear Feet of Boulder Stabilization and 300 Linear Feet of Rip Rap Stabilization Along the Bank of Gages Lake at 33666 North Cove Road, Grayslake, Lake County, Illinois (Latitude 42.345313°N, Longitude -87.99476°W)

Brandon Magnini  
Wildwood Park District  
33325 North Sears Blvd  
Grayslake, Illinois 60030

Dear Mr. Magnini:

The U.S. Army Corps of Engineers, Chicago District, has completed its review of your pre-construction notification for the above referenced project, dated 07/30/2025, for authorization under the Nationwide Permit (NWP) Number 13 (NWP 13 Bank Stabilization).

This determination covers only your project as described above and in the approved project plans titled, "Proposed Riprap Shoreline – Plan View (Overhead view)", dated 08/26/2025, prepared by Brandon Magnini. Caution must be taken to prevent construction materials and activities from impacting waters of the United States beyond the scope of this authorization. If the design, location, or purpose of the project is changed, it is recommended that you contact this office to determine the need for further authorization.

The subject activity may be performed without further authorization from this office provided that the activity complies with the NWP terms and general conditions, the regional conditions for Illinois, the special conditions listed below, and the Section 401 Water Quality Certification ("WQC") conditions added by the Illinois Environmental Protection Agency ("IEPA"). The NWP Program terms, general conditions, and regional conditions are listed in the enclosed NWP Summary. The WQC conditions are listed in the enclosed Fact Sheet.

Specifically, we wish to draw your attention to General Condition 21, which requires permittees to notify our office immediately in the event of discovery of previously unknown human remains, Native American cultural items, or archaeological artifacts; and a term of the NWP program, which states that NWPs do not obviate the need to obtain other federal, state, or local permits, approvals, or authorizations required by law.

Please note that IEPA has issued Section 401 Water Quality Certification for this NWP. The conditions of this WQC are automatically conditions of this NWP verification